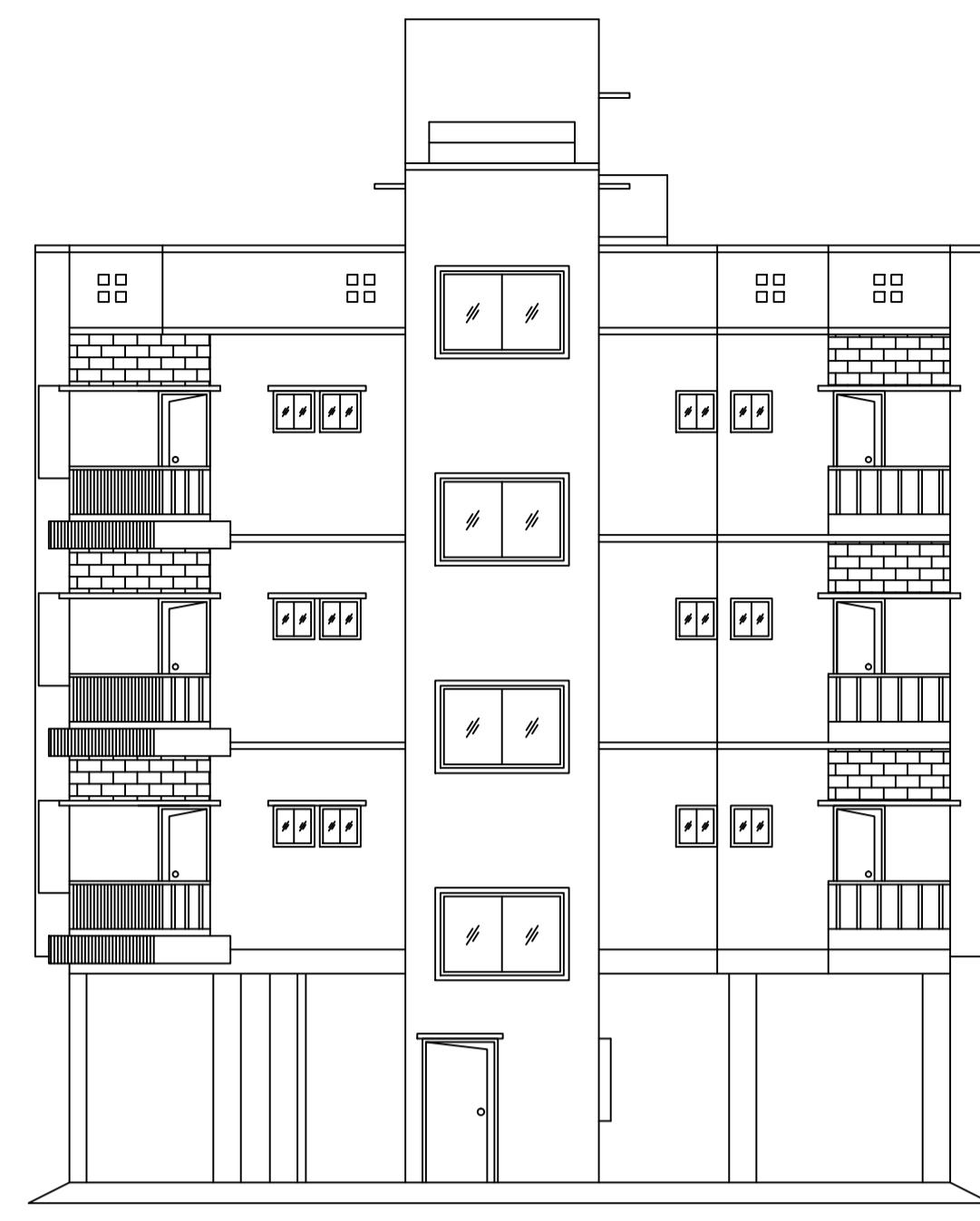


SOUTH SIDE ELEVATION

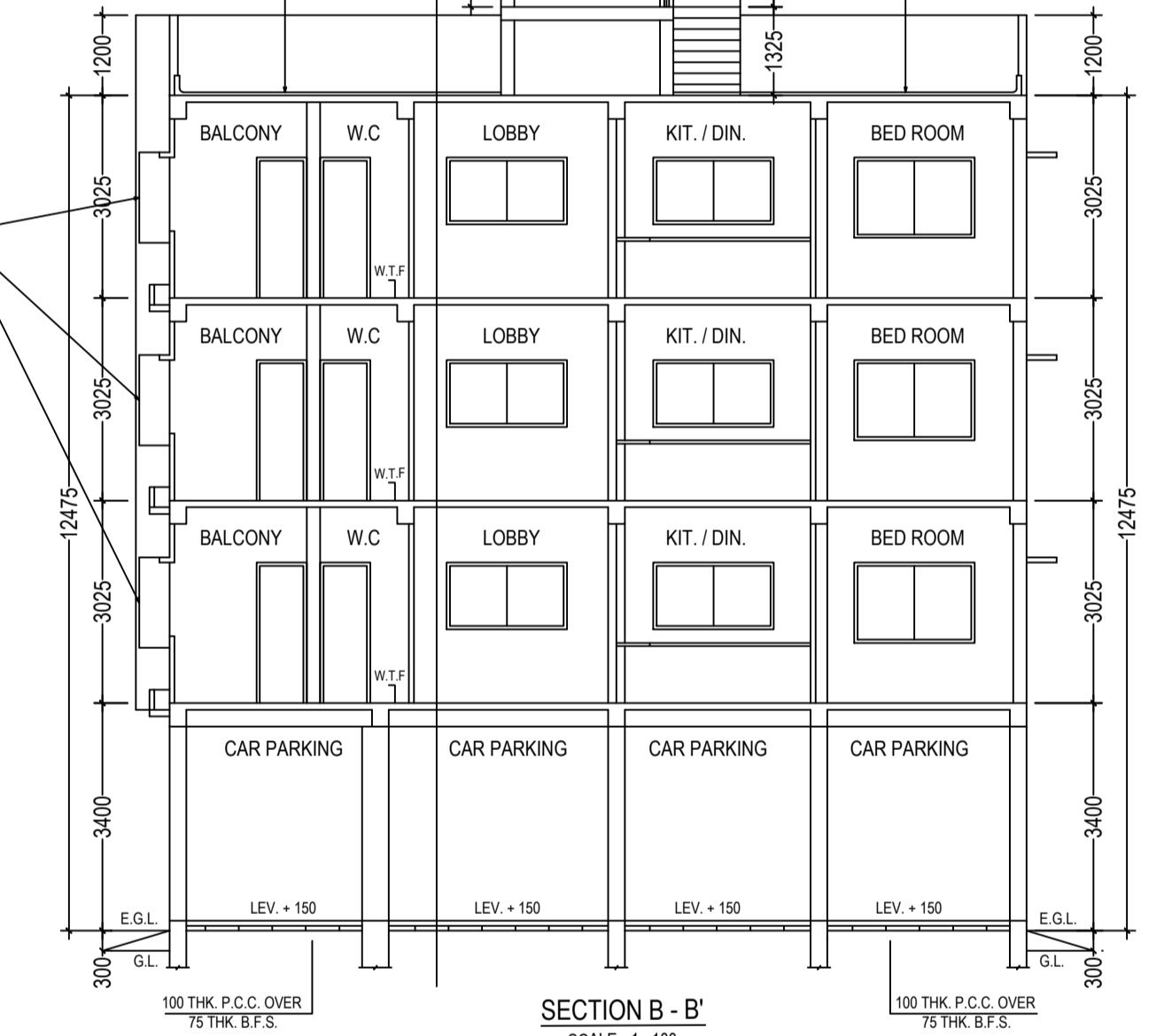


EAST SIDE ELEVATION

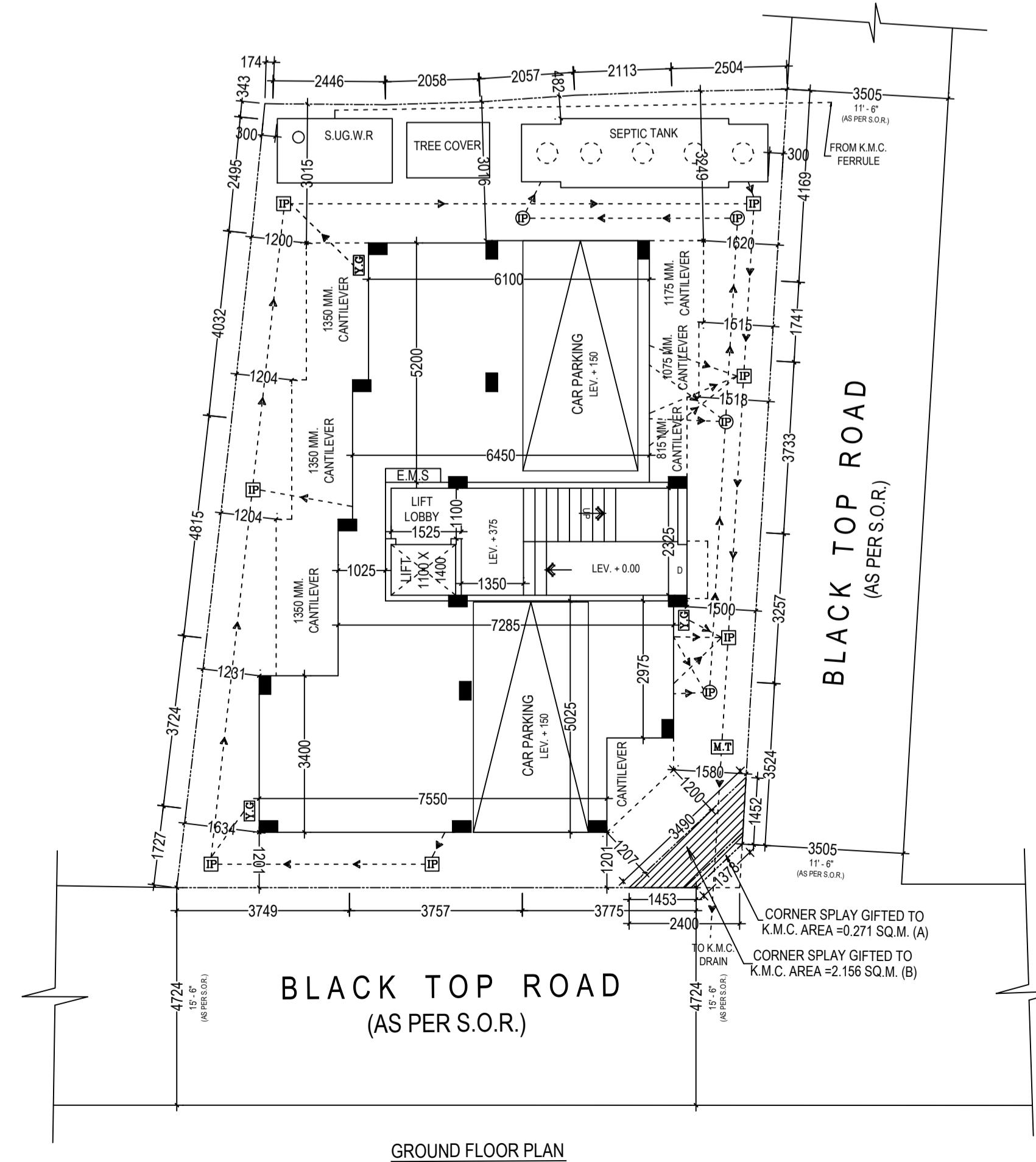
DOORS & WINDOW SCHEDULE	
MKD.	SIZE
D	1200 x 2100
D1	1000 x 2100
D2	900 x 2100
D3	750 x 2100
—	—
—	—
W5	600 x 600
W6	1000 x 1200



SECTION A-A'

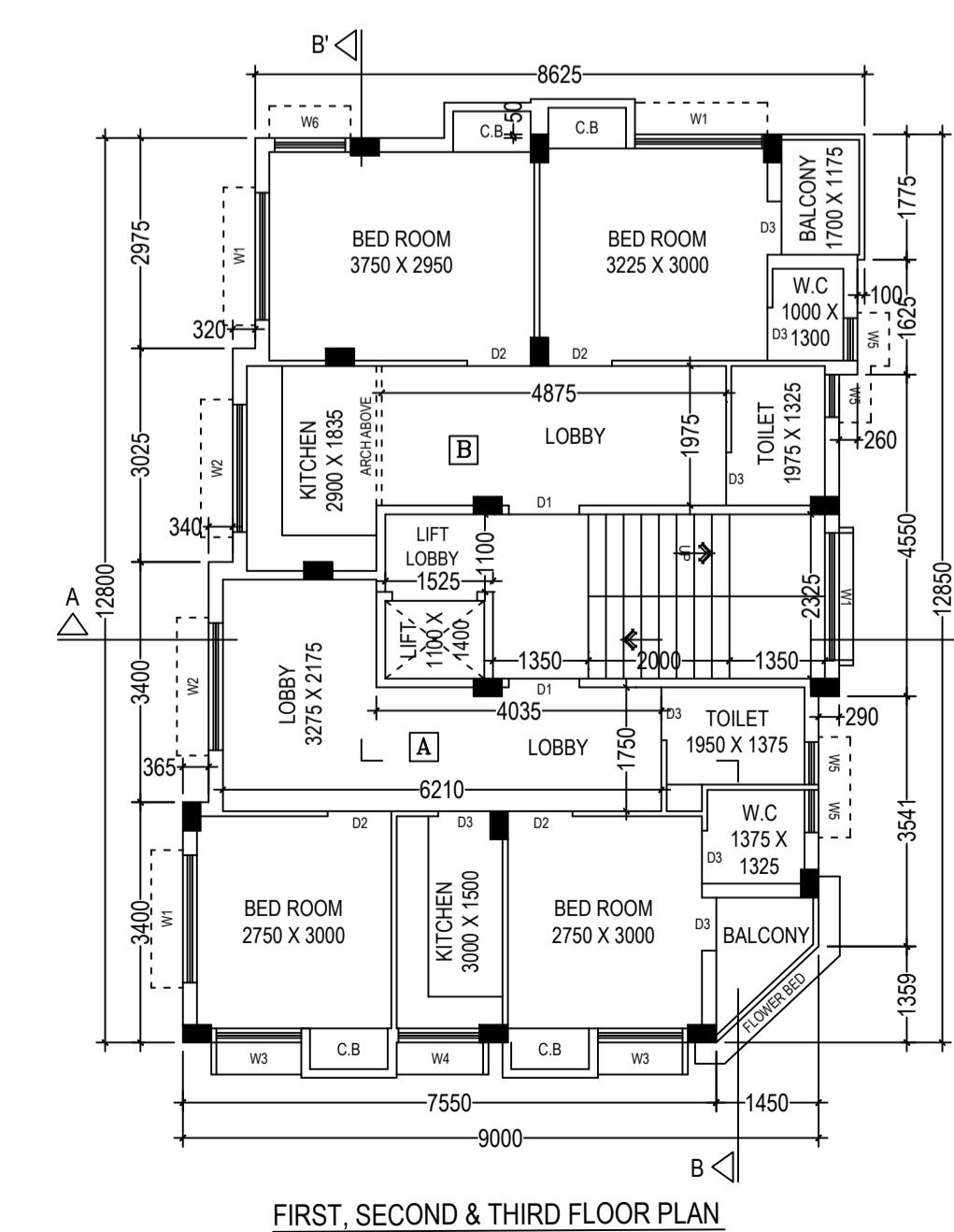


SECTION B-B'

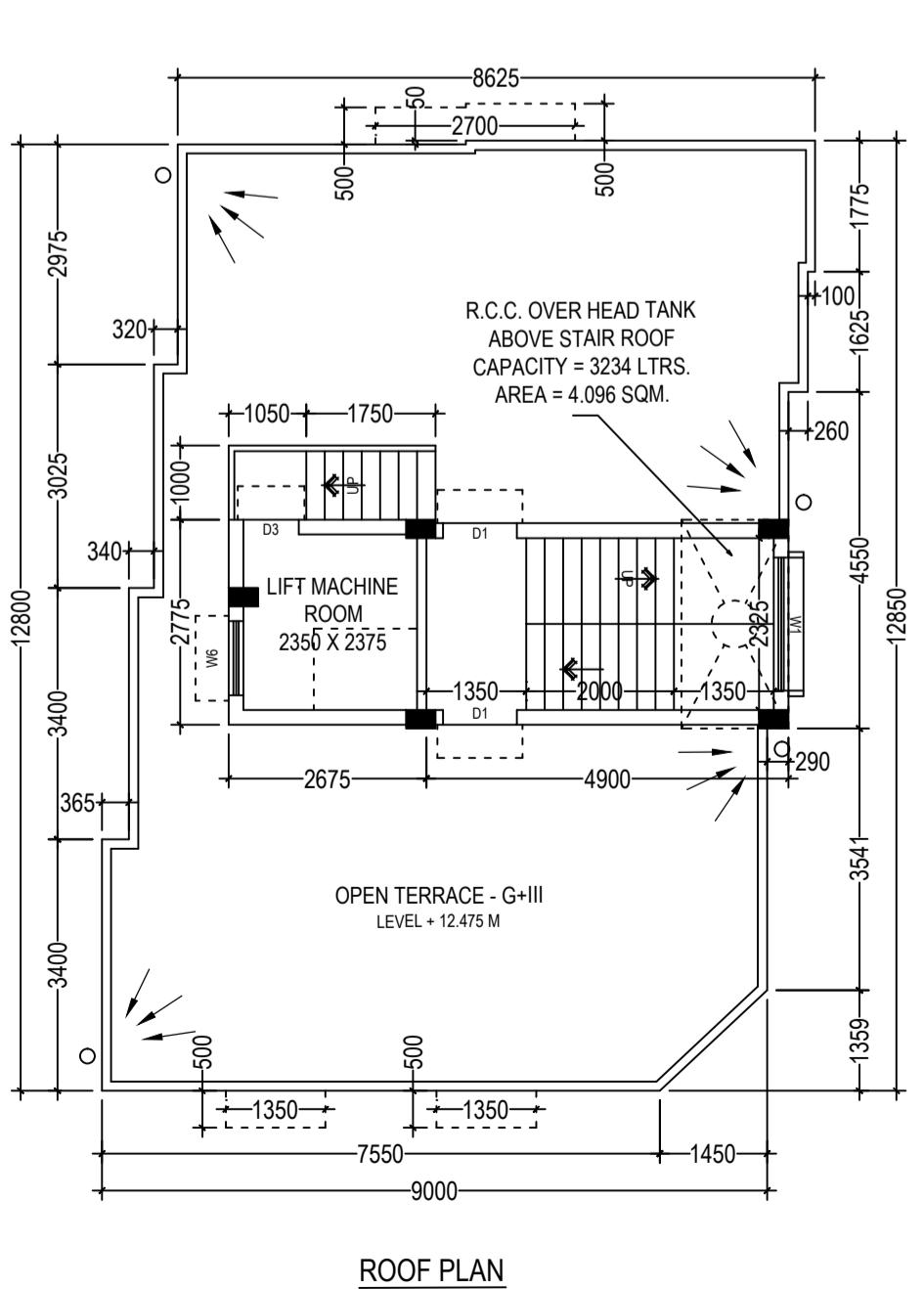


BLACK TOP ROAD  
(AS PER S.O.R.)

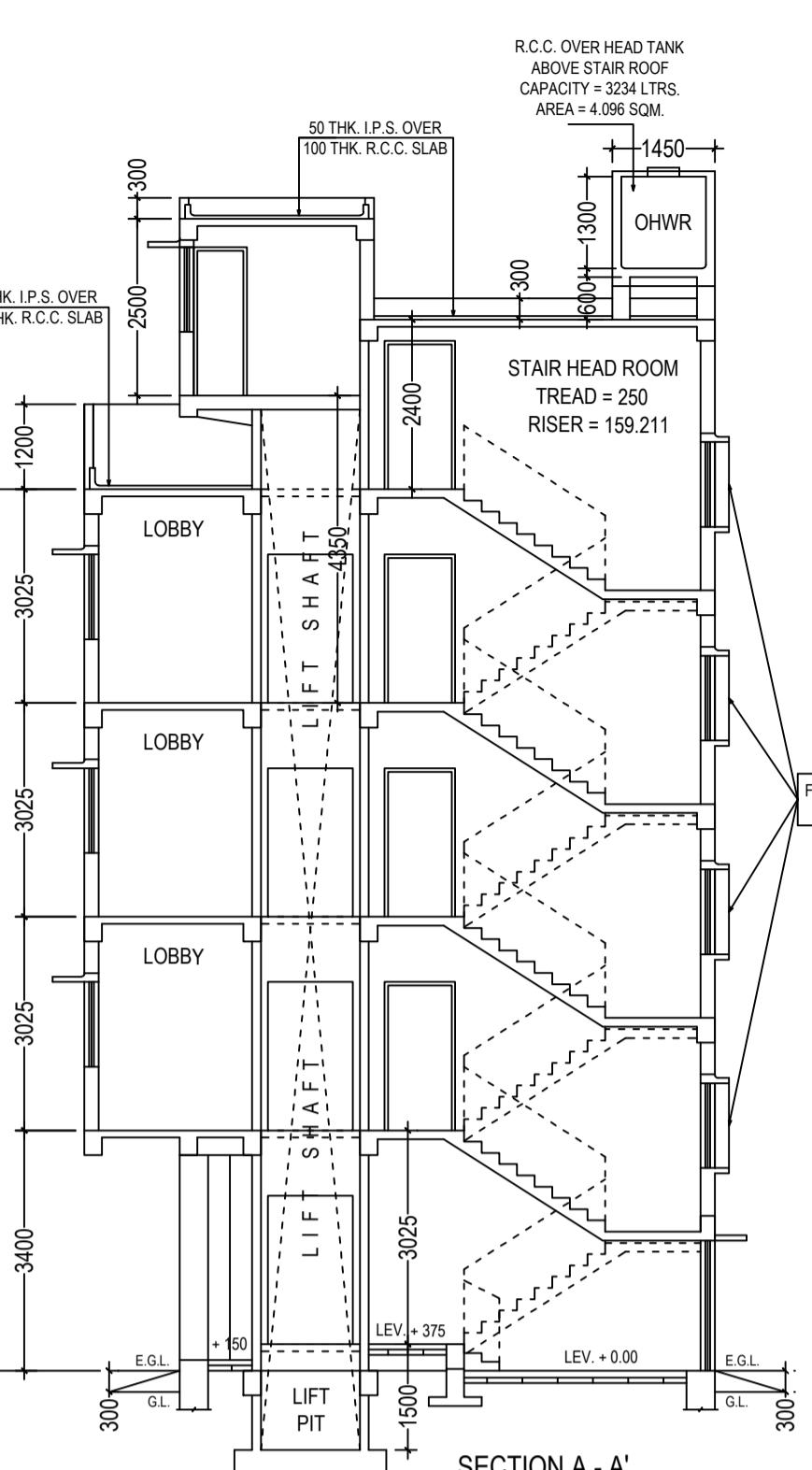
GROUND FLOOR PLAN



FIRST, SECOND & THIRD FLOOR PLAN



ROOF PLAN



CO-ORDINATE IN WGS 84 AND SITE ELEVATION (AMSL): PERMISSIBLE TOP ELEVATION: 33.00 M.		
REFERENCE POINTS MARKED IN THE SITE PLAN OF THE PROPOSAL	CO-ORDINATE IN WGS 84	SITE ELEVATION (AMSL)
A	22°27'46" N 88°22'27" E	8.0 M
B	22°27'47" N 88°22'28" E	8.0 M

The above information is true and correct in all respect and if at any stage it is found otherwise, then I shall be fully liable for which KMC and other appropriate authority reserve the right to take appropriate action against me as per law.

Sign of Owner

OM ENTERPRISE  
PARTNERS  
1. SRI TARUN NASKAR 2. SRI BIDESH MITRA  
3. SRI RAMKRISHNA SAHA 4. SRI MAHASIS MAHARAJ  
5. SRI SUSHANTA CHOWDHURY  
C/A ON BEHALF OF  
SRI DIPAK BHATTCHARJEE  
Name of the Owner (L.B.S. NO. 1064/1)  
Name of the L.B.S.

#### DECLARATION OF E.S.E.

Certified with full responsibility that the structural design & drawings of both foundation and superstructure of the building has been made by me, considering all possible loads including seismic load as per the National Building Code of India and certified that it is safe and stable in all respect. The structural design as per soil test done by MAS of 4, Garfa Road, Kolkata-700075, recommended & signed by Geo-Tech Engineer Mr. Kalol Kumar Ghoshal (G.T. / 149 of K.M.C.). The Soil test report consider for calculation of structural design.

Name of GEO-TECH ENGINEER  
KALOL KUMAR GHOSHAL  
G.T. / 149 (K.M.C.)  
E.S.E. NO. 751/II (K.M.C.)

#### L.B.S. DECLARATION

Certified with full responsibility that the building plan has been drawn as per the provisions of the KMC Building Rules 2009, as amended from time to time, that the site conditions, including the abutting 4.724 m. (15' - 6") as per S.O.R. Black top road on the Southern side and 3.505 m. (11' - 6") as per S.O.R. Black top road on the Eastern side confirms with that in the plan and it is a buildable site and not a tank or filled up land. The land is Demarcated by Boundary wall. Signature of the Owner is authenticated by me.

#### OWNER'S DECLARATION

We do hereby undertake with full responsibility that-  
1. We shall engage L.B.S. & E.S.E. during construction.  
2. We shall follow the instruction of L.B.S. & E.S.E. during Construction of the building(as per plan)  
3. K.M.C. authority will not be responsible for Structural Stability of the building & adjoining structure.  
4. If any submitted documents are found to be fake, the K.M.C. authority will revoke the sanction plan.  
5. The construction of water reservoir & septic tank will be under the guidance of L.B.S. / E.S.E. before starting of building foundation work.  
6. During inspection plot was identified by me.  
7. There is no Court case pending against this premises.

Sign of Owner  
OM ENTERPRISE  
PARTNERS  
1. SRI TARUN NASKAR 2. SRI BIDESH MITRA  
3. SRI RAMKRISHNA SAHA 4. SRI MAHASIS MAHARAJ  
5. SRI SUSHANTA CHOWDHURY  
C/A ON BEHALF OF  
SRI DIPAK BHATTCHARJEE  
Name of the Owner

#### SHEET- A.dwg 2 OF 2

BUILDING PERMIT NO.- 2025110009  
SANCTION DATE - 12.04.2025  
VALID UPTO - 11.04.2030

DIGITAL SIGNATURE OF ASSISTANT ENGINEER(C)/BLDG/BR-XI

#### STATEMENT OF PLAN PROPOSAL

A

1. ASSESSEE NO. - 31-111-09-0221-2
2. DETAILS OF REGD. DEED -  
BOOK NO. - I; VOL. NO. - 32; PAGE NO. 138 - 146  
BEING NO. 930, YEAR -1982; DATE 02.02.1982 D.S.R. ALIPORE, SOUTH 24 PARGANAS.
3. DETAILS OF REGD. BOUNDARY DECLARATION -  
BOOK NO. - I; VOL. NO. - 1604-2024; PAGE NO. 345922 - 345936  
BEING NO. 160412117, YEAR -2024; DATED 22.11.2024; D.S.R-IV, SOUTH 24 PARGANAS.
4. DETAILS OF REGD. GIFT FOR CORNER SPLAY -  
i) BOOK NO. - I; VOL. NO. - 1604-2024; PAGE NO. 345957 - 345950  
BEING NO. 160412124, YEAR -2024; DATED 22.11.2024; D.S.R-IV, SOUTH 24 PARGANAS.
- ii) BOOK NO. - I; VOL. NO. - 1604-2025; PAGE NO. 42176 - 42189  
BEING NO. 160401643, YEAR -2025; DATED 19.02.2025; D.S.R-IV, SOUTH 24 PARGANAS.
5. DETAILS OF POWER OF ATTORNEY -  
BOOK NO. - I; VOL. NO. - 1604-2024; PAGE NO. 234808-234827  
BEING NO. 160407667, YEAR -2024; DATED 19.07.2024; DSR-IV, SOUTH 24 PARGANAS.
6. i) AREA OF LAND AS PER DEED - 200.669 SQ.M. (03 KA. 00 CH. 00 SFT.)  
ii) AREA OF LAND AS PER BOUNDARY DECLARATION - 200.870 SQ.M. (03 KA. 00 CH. 2.165 SFT.)
7. NO. OF TENEMENTS - 06
7. SIZE OF TENEMENT - 50 TO 75 SQ.M. - 6 NOS.

B

1. AREA OF LAND AS PER DEED - 200.669 SQ.M.
2. AREA OF CORNER SPLAY - (2.427 SQ.M.)
3. NET AREA OF LAND AFTER CORNER SPLAY - 198.242 SQ.M.
4. PERMISSIBLE GROUND COVERAGE (59.978%) = 120.357 SQ.M.
5. PROPOSED GROUND COVERAGE (55.495%) = 111.362 SQ.M.
6. TOTAL COVERED AREA = 425.522 SQ.M.
7. F. A. R. CONSUMED = 1.722

#### 6. FLOOR AREA STATEMENT

FLOOR	TOTAL COVERED AREA IN m <sup>2</sup>	DUCT IN m <sup>2</sup>	ACTUAL FLOOR AREA IN m <sup>2</sup>	EXEMPTED AREA		NET FLOOR AREA IN m <sup>2</sup>
				Lift lobby in	Stair Well in	
GROUND	91.436	0.000	91.436	1.678	10.928	78.830
FIRST	111.362	1.540	109.822	1.678	10.928	97.216
SECOND	111.362	1.540	109.822	1.678	10.928	97.216
THIRD	111.362	1.540	109.822	1.678	10.928	97.216
TOTAL	425.522	4.620	420.902	6.712	43.712	370.478

#### 7. TENEMENT AND CAR PARKING CALCULATION

TENEMENT MARKED	TENEMENT SIZE in m <sup>2</sup>	Multiplication Factor	ACTUAL TENEMENT AREA INCLUDING PROP. AREA IN m <sup>2</sup>	No. of Tenement	No of Car Required
A1/A2/A3	48.518	1.197	58.076	3	0
B1/B2/B3	47.906	1.197	57.343	3	1
				6	1
					TOTAL 1

#### 8. CALCULATION OF F.A.R.

A. NET LAND AREA IN SQ.M	200.669
2. TOTAL REQUIRED CAR PARKING	1
3. TOTAL COVERED CAR PARKING PROVIDED	2
4. TOTAL OPEN CAR PARKING PROVIDED	0
5. PERMISSIBLE EXEMPTED AREA FOR CAR PARKING IN m <sup>2</sup>	25
6. ACTUAL CAR PARKING AREA EXEMPTED IN m <sup>2</sup>	74.570
7. PERMISSIBLE F.A.R	1.75
8. PROPOSED F.A.R	1.722

9. A) TOTAL REQUIRED CAR PARKING = 1 NOS	16. AREA OF CUP-BOARD = 8.100 SQ.M
B) TOTAL PROVIDED CAR PARKING = 2 NOS	17. TOTAL COMMON AREA = 57.060 SQ.M.
10. TERRACE AREA = III.362 SQ.M.	18. PARKING AREA = 74.570 SQ.M.
II. PARAPET HEIGHT = 1.20 M.	19. DEPTH OF THE BUILDING = 12.850M
12. STAIR HEAD ROOM AREA = 13.693 SQ.M.	20. TOTAL GROSS FLOOR AREA INCLUDING EXEMPTED AREA = 450.118 SQ.M.
14. OVER HEAD TANK = 4.996 SQ.M	21. LIFT MACHINE ROOM AREA = 7.423 SQ.M.
15. OVER HEAD TANK BASE HEIGHT = 0.600 M.	22. LIFT MACHINE ROOM STAIR AREA = 2.800 SQ.M.
	23. TREE COVER AREA = 2.160 SQ.M.

#### NOTES

1. UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS ARE IN MM.
2. 75 TH. 1 st. CLASS B.F.S. IN FOUNDATION AND FLOOR.
3. 200 TH. OUTER WALL WITH (1:6) MORTER AND 75/125 TH. PARTITION WALL WITH (1:4) MORTER.
4. 75MM SCREED CONCRETE WILL BE PROPER WATER PROOFING COMPOUND OVER 100 MM THK. ROOF.
5. ALL CEILING AND R.C.C. PLASTER 12 mm TH. WITH (1:4) MORTER AND ALL WALL PLASTER 12mm TH. WITH (1:6) MORTAR.
6. ALL STEEL GRADE IS Fe 500.
7. ALL CONCRETE GRADE IS M20.
8. ALL SHORTS OF PRECAUTIONARY MEASURES SHOULD BE TAKEN DURING CONSTRUCTION OF SEPTIC TANK AND RESERVOIR.
9. ALL BUILDING MATERIALS WILL BE AS PER I.S. CODE AND N.B.C. RECOMMENDATION.
10. MARBLE FLOORING WILL BE PROVIDED.

#### SCALE - 1: 100

(UNLESS OTHER WISE NOTED)

